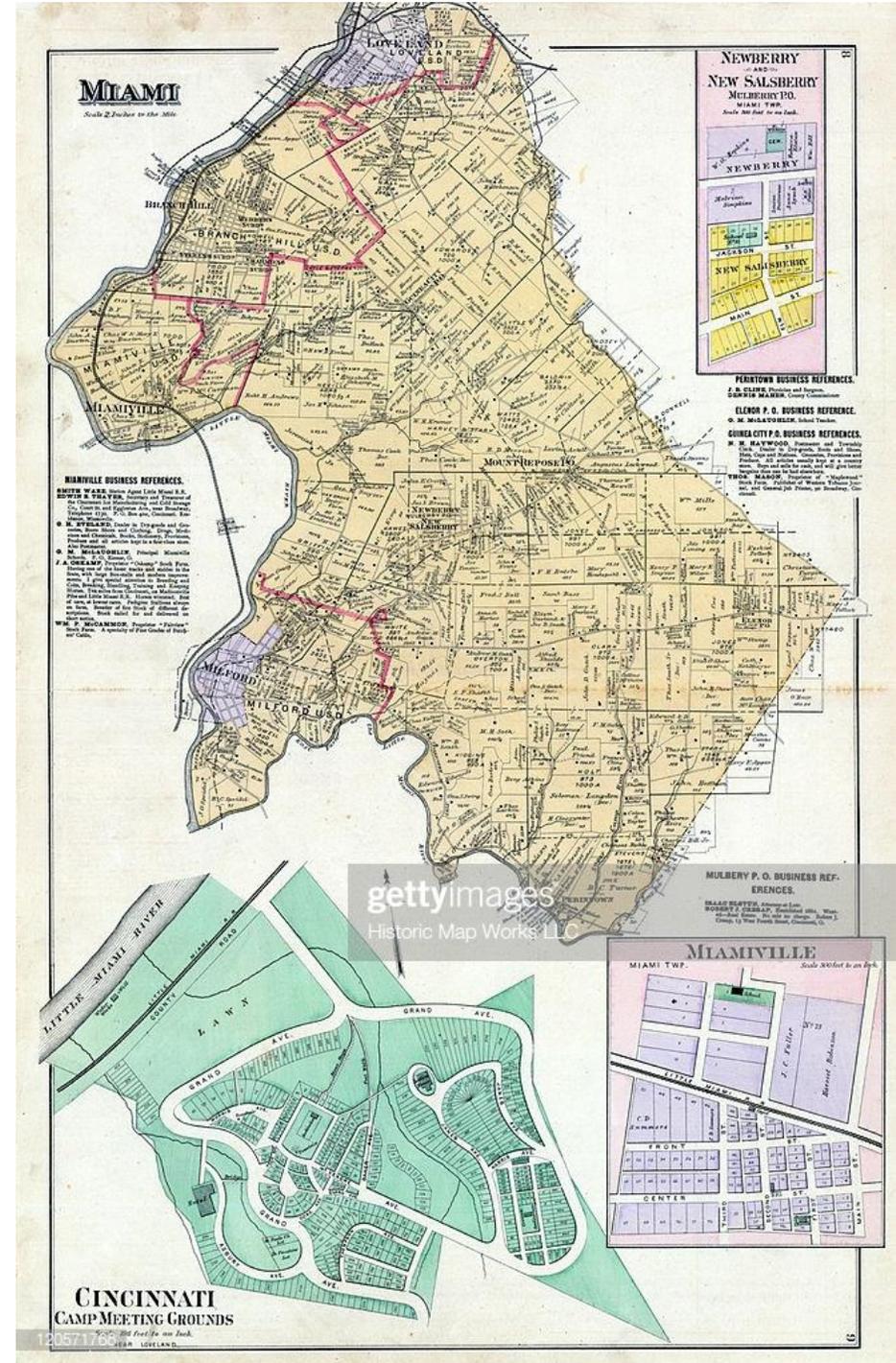


## Land Use Plan Update Steering Committee Project Kick-Off Meeting January 30, 2020



## Introductions & Project Purpose

### Introductions

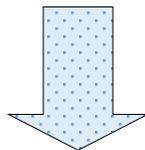
**Township Staff**

**Land Use Consultant**

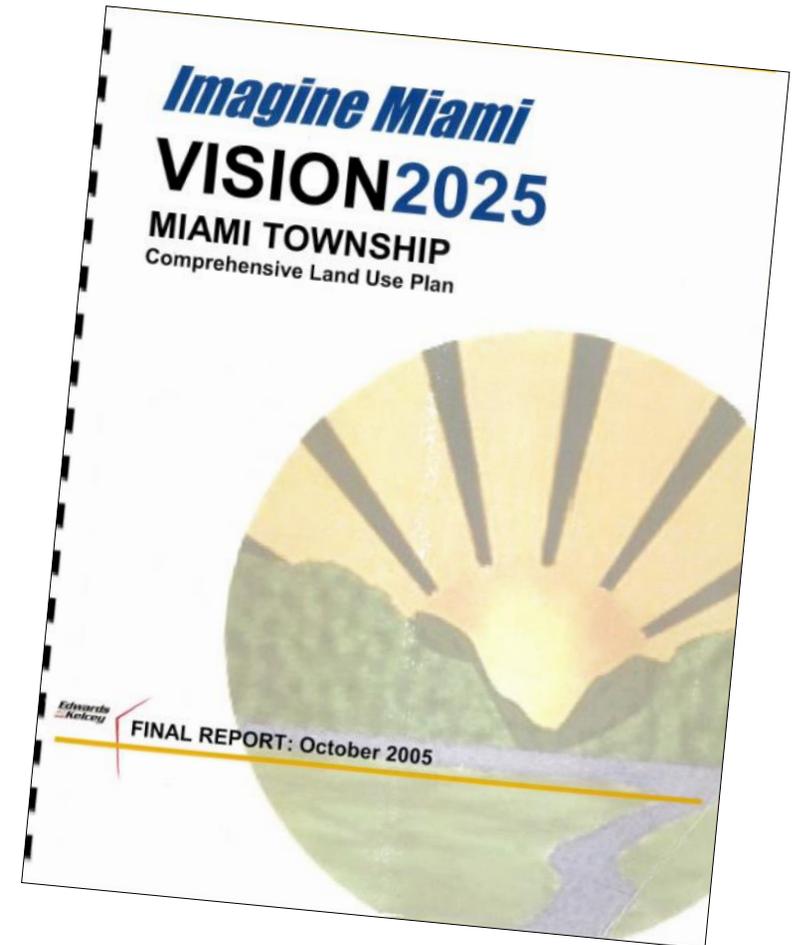
**Steering Committee**

### Project Purpose

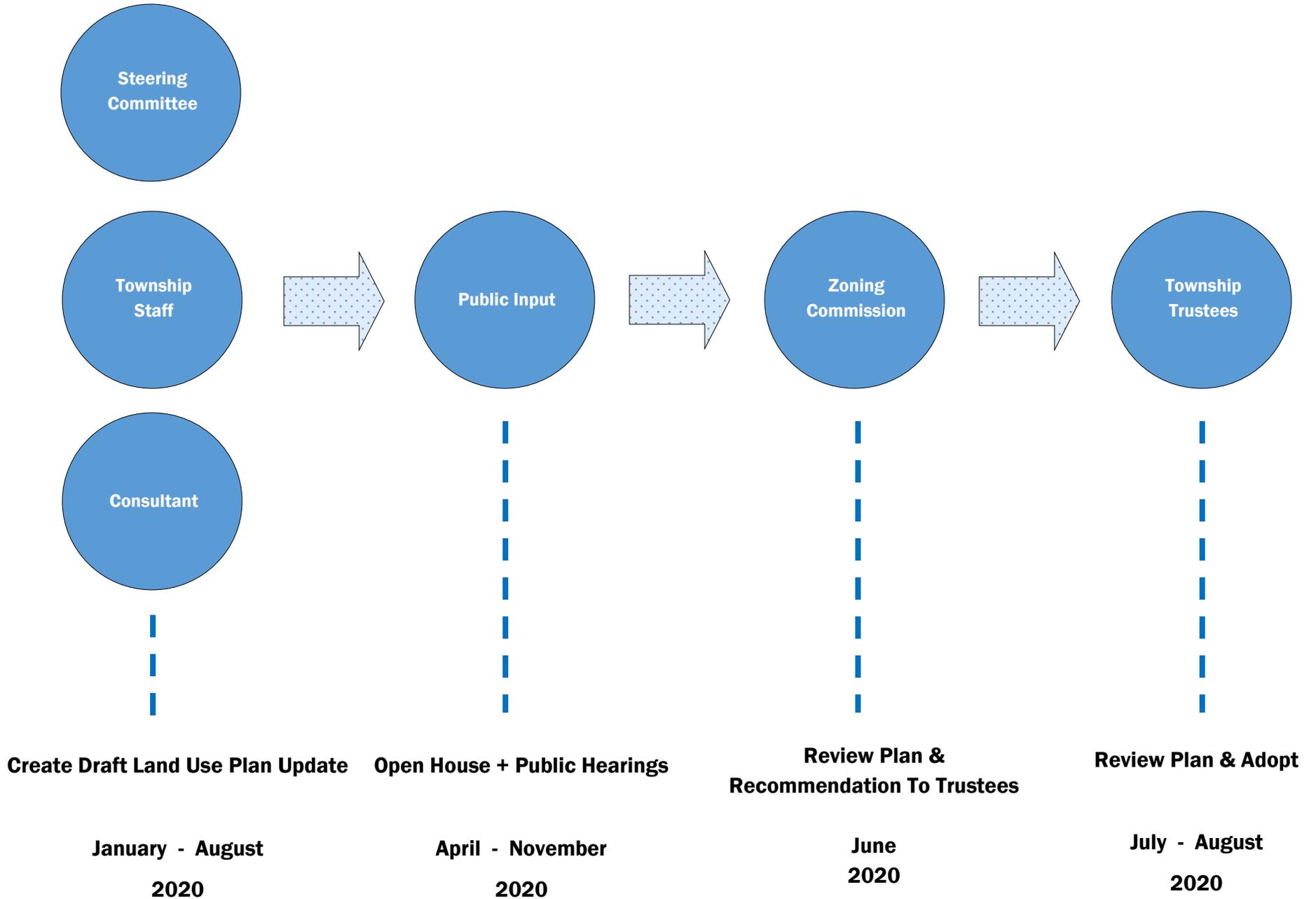
**Update Vision 2025 Plan**



**(Update Land Use + Connectivity Plan)**



## Project Process / Roles / Schedule



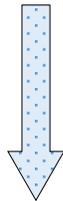
## Public Engagement

## Public Open House



## Public Hearings

## Township Website Engagement



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### COMMUNITY DEVELOPMENT

Brian EHRF, Planning & Zoning Administrator  
Brian.EHRF@MiamiTwp.OH.gov  
Community Development Office: (513) 268-3711

#### Land Use Plan - Update in Progress



Brian Ehrf  
Planning & Zoning Administrator

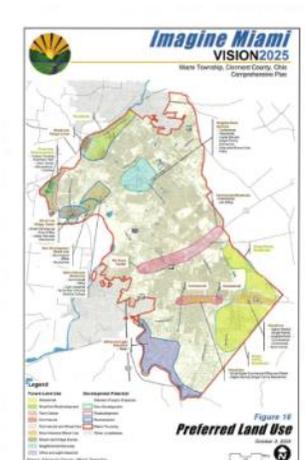
In 2020 Miami Township will begin updating its land use plan. Check the "Land Use Plan Update in Progress" button on the zoning page of the Miami Township website to keep an eye on this process, and for your opportunity to provide input!

Ohio Revised Code Section 519.02 states that townships may regulate the use of land in accordance with a comprehensive plan. Having a good land use plan in place is particularly useful when considering rezoning for property. The land use plan helps residents, land owners, businesses and officials anticipate possible future uses for the land and determine what path a particular property or area should go. Planning and plans also help identify important transition points between different types of land use, and places where attention to buffering can help.

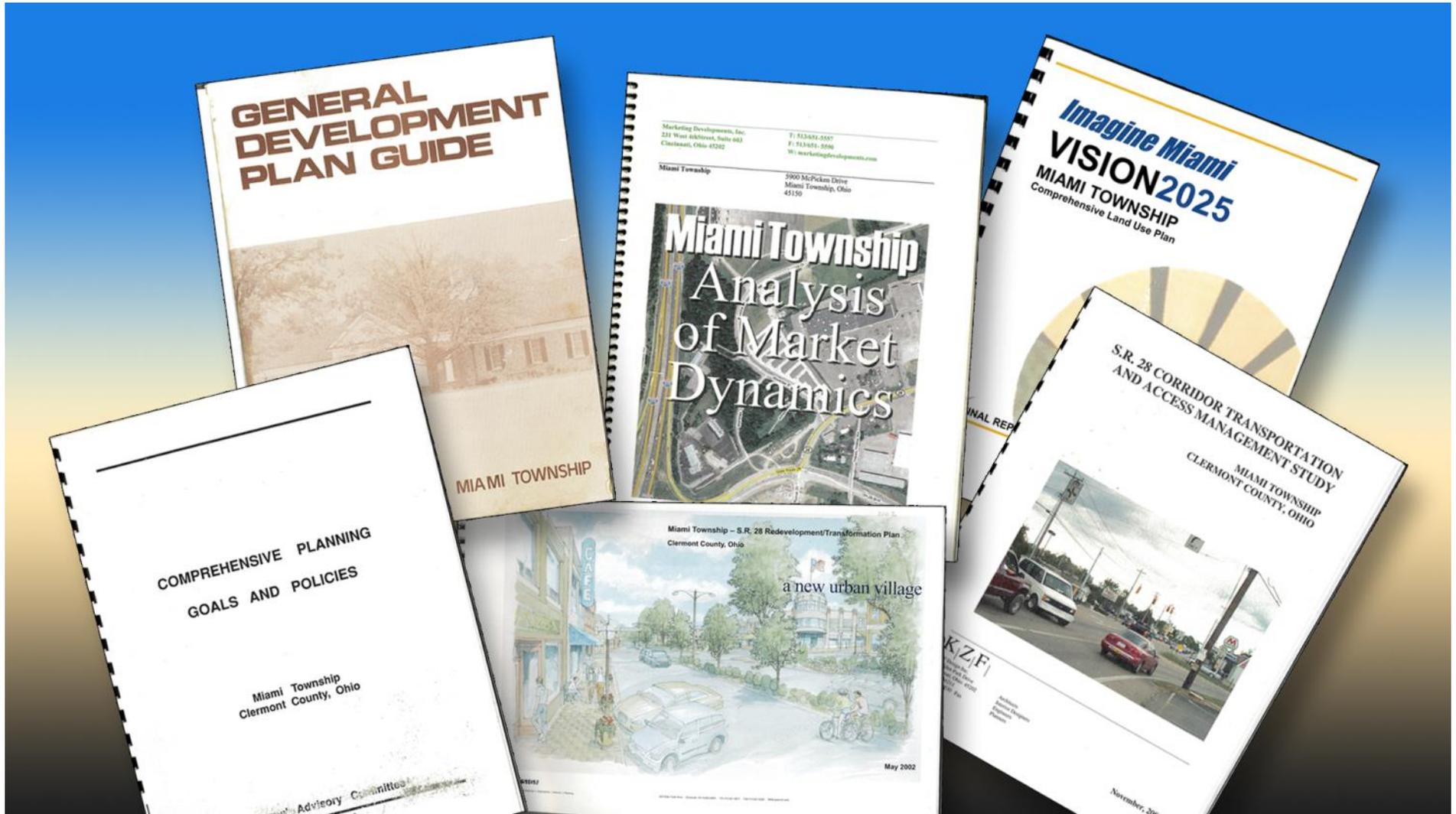
Over time, land use and area character may change. For example, a bypass highway is built with an interchange, and that affects the surroundings. So it is often recommended that land use plans be updated regularly. How frequently a land use plan should be revised depends upon the pace of change within a given community.

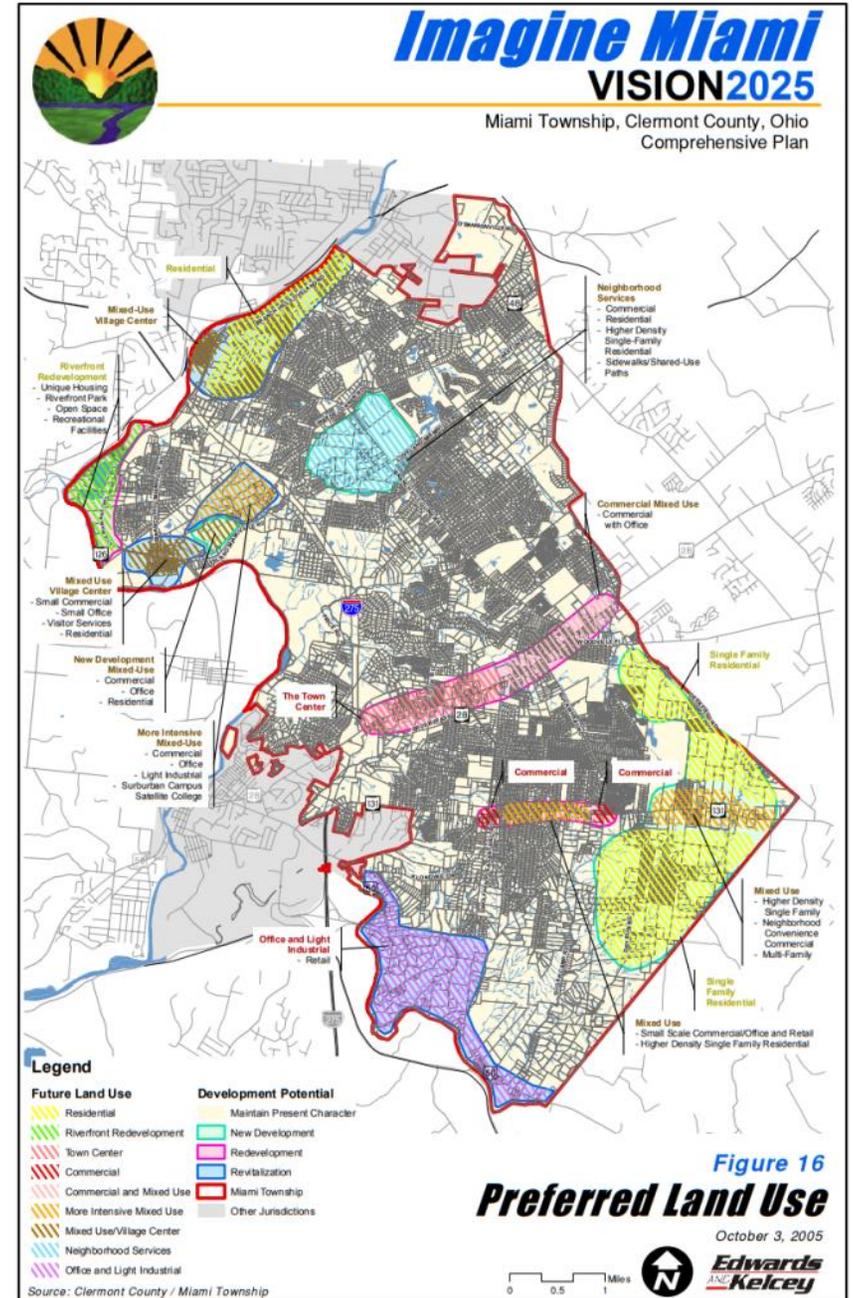
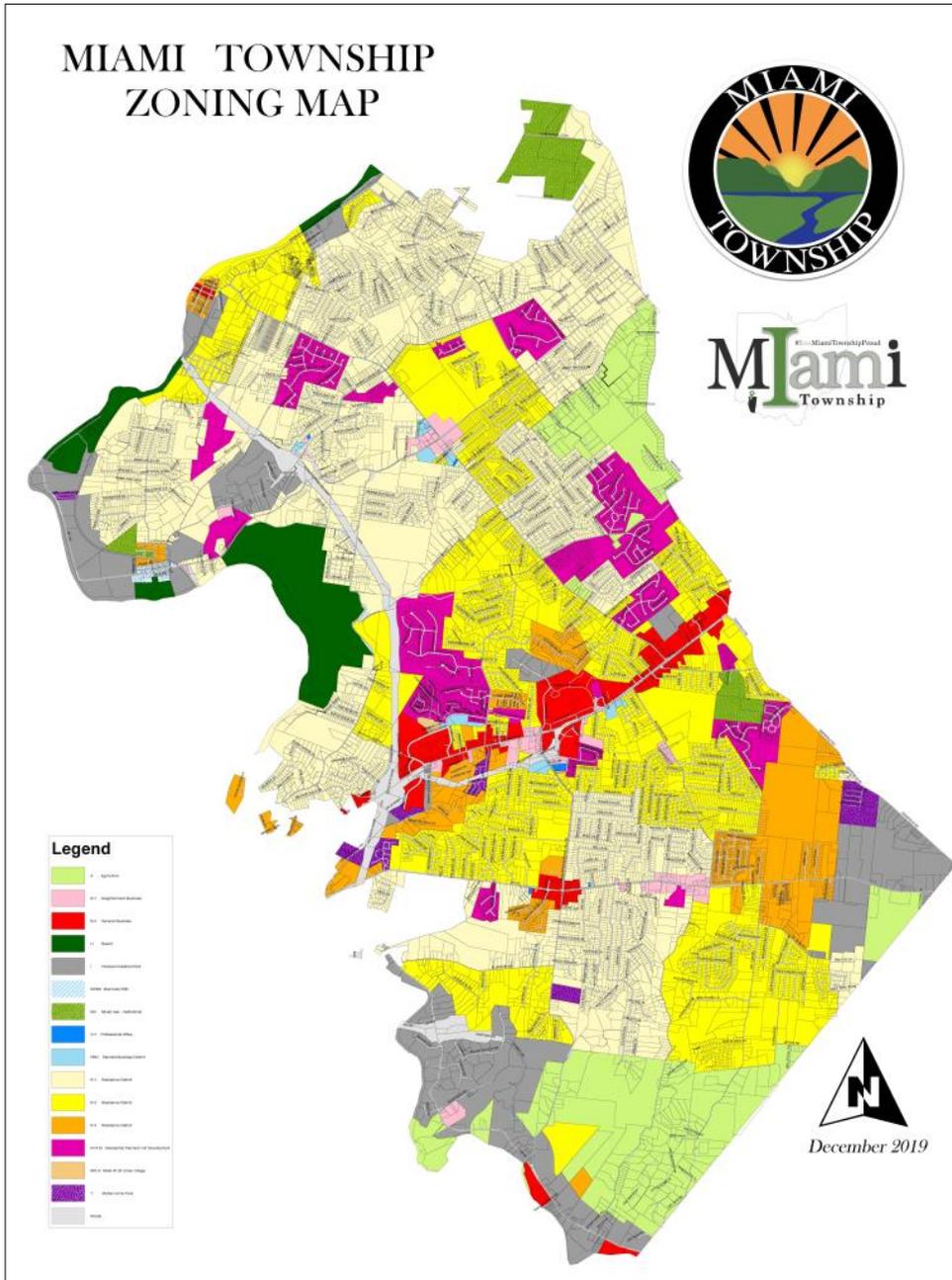
In Miami Township, land planning has taken place regularly, and present planning is described in the Miami Vision 2025 Comprehensive Land Use Plan. A copy of this plan can be viewed on the Miami Township website under the "Land Use Plan Update in Progress" button on the zoning page. In every zoning case, staff and officials rely on the content of the plan to help make decisions. The Vision 2025 Plan was adopted in 2005, and certain areas of Miami Township have changed since then. Now is a good time to look at updating that plan, which has served the Township well for the past 14 years.

In 2020 we will begin the process of creating a new land use plan. The Township has retained Stewart Land Use to assist in this important update. Jay Stewart, principal of the firm, has drafted multiple plans for medium sized communities, and will lend great experience to the project. Check the "Land Use Plan Update in Progress" button on the zoning page of the Miami Township website to keep an eye on the update process, and to see how you can have input on this new and exciting plan.



## History of Miami Township Long Range Planning





### Vision 2025 Plan Contents

Introduction

Existing Conditions

Plan Analysis

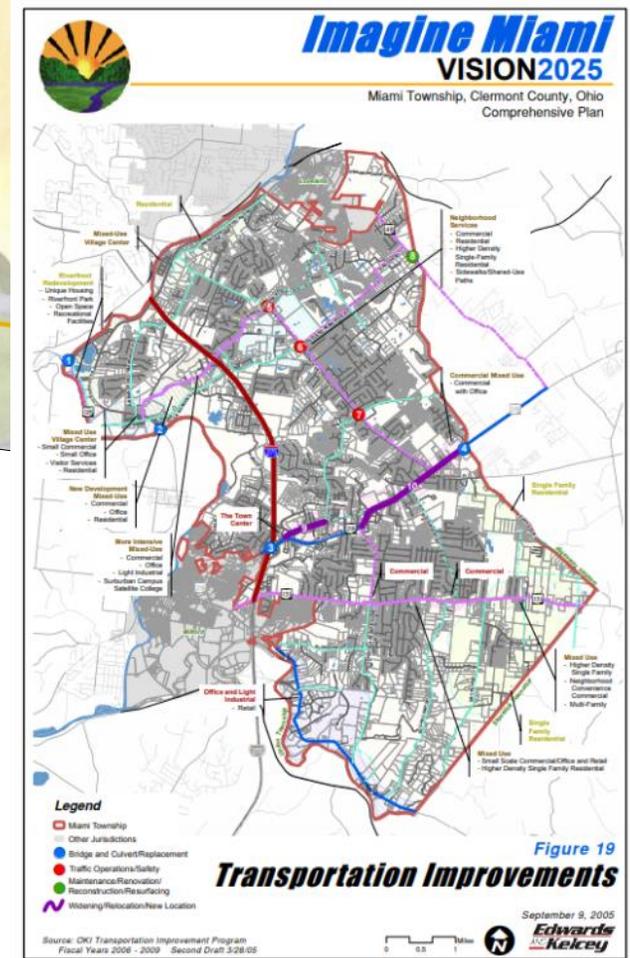
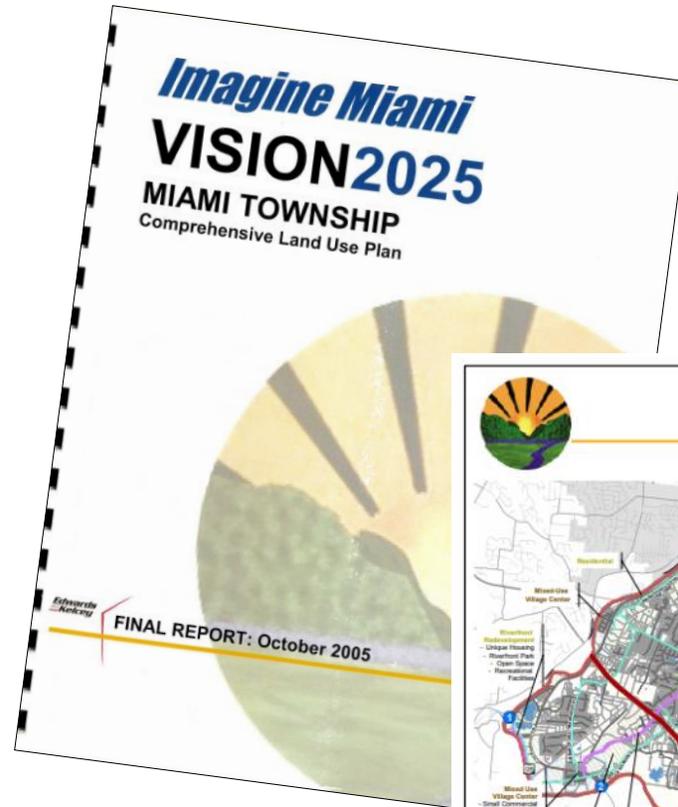
Comprehensive Plan Vision & Goals

Preferred Land Use Plan

Transportation System Analysis

Pathways Plan Prioritization

Implementation



### 2020 Plan Update Contents

Introduction

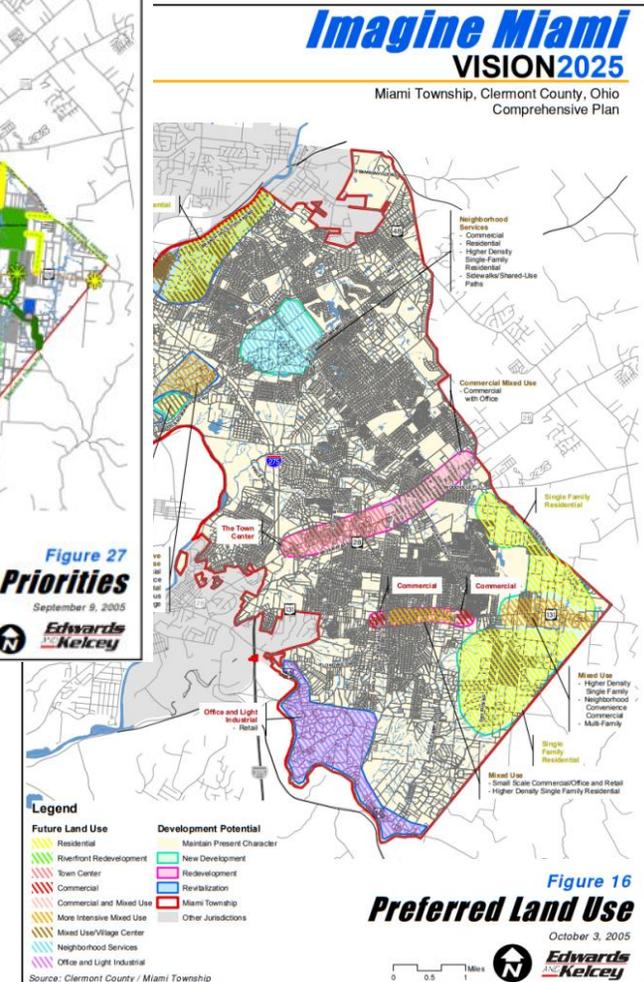
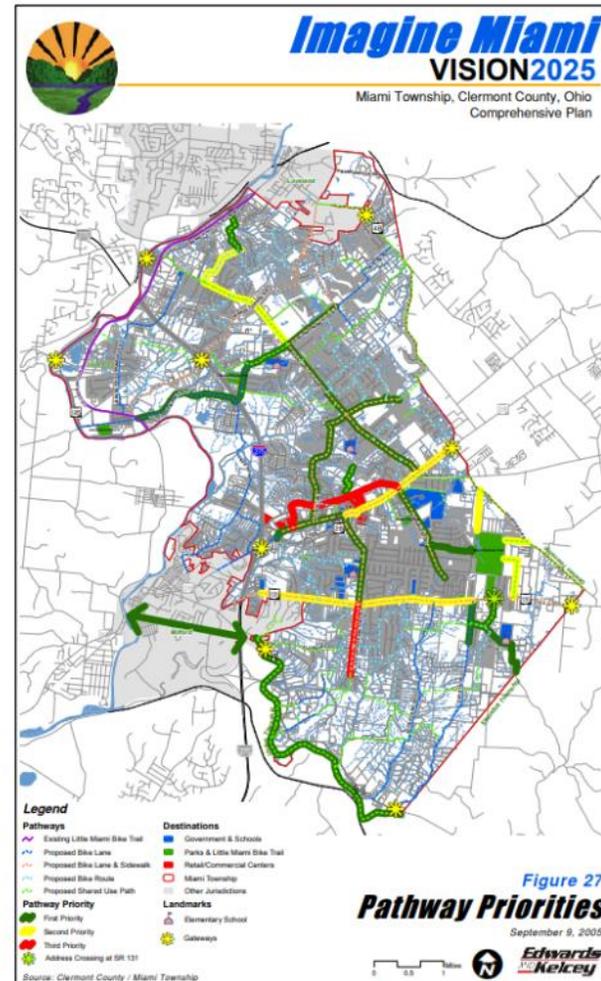
Existing Land Use

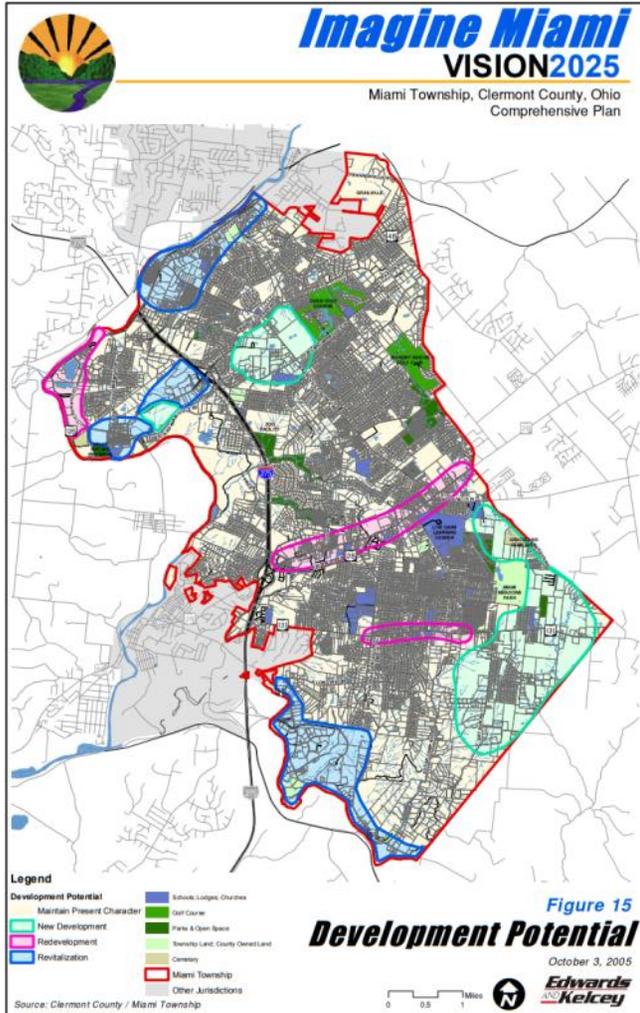
Future Land Use

Special Planning Areas

Community Connectivity

*\*Plan Recommendations Throughout*





## Special Planning Areas

**State Route 28 Corridor (East of I-275)**

**Branch Hill Guinea Loveland Road (West of Miami Riverview Park)**

**Little Miami Scenic Trail Corridor**

**State Route 131 Corridor**

**US 50 Incubator Corridor**

**Boy Scout Areas (Price Road)**

**Branch Hill Guinea & Loveland Miamiville Road**

### Connectivity Plan Topics

Increased Safety

Identify Opportunities for Destination Connections

Promote Economic Development



### Group Exercise: Identify Township Opportunities & Challenges

**Break into Discussion Groups**

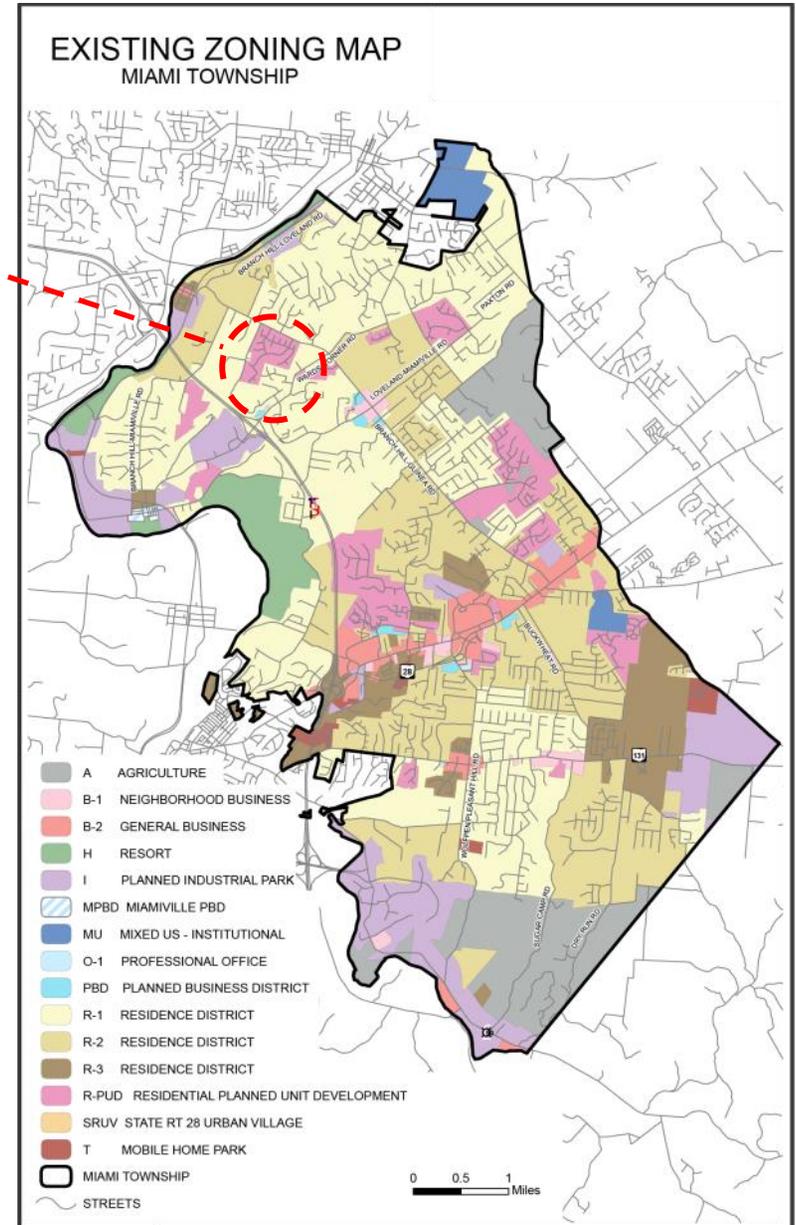
**Identify Top 3 Challenges & Top 3 Opportunities to the Township**

**Use a 10 Year Planning Time Frame**

**Refer to Group Exercise Hand-out**



### Residential



## Planning for a Diverse Community

### Commercial

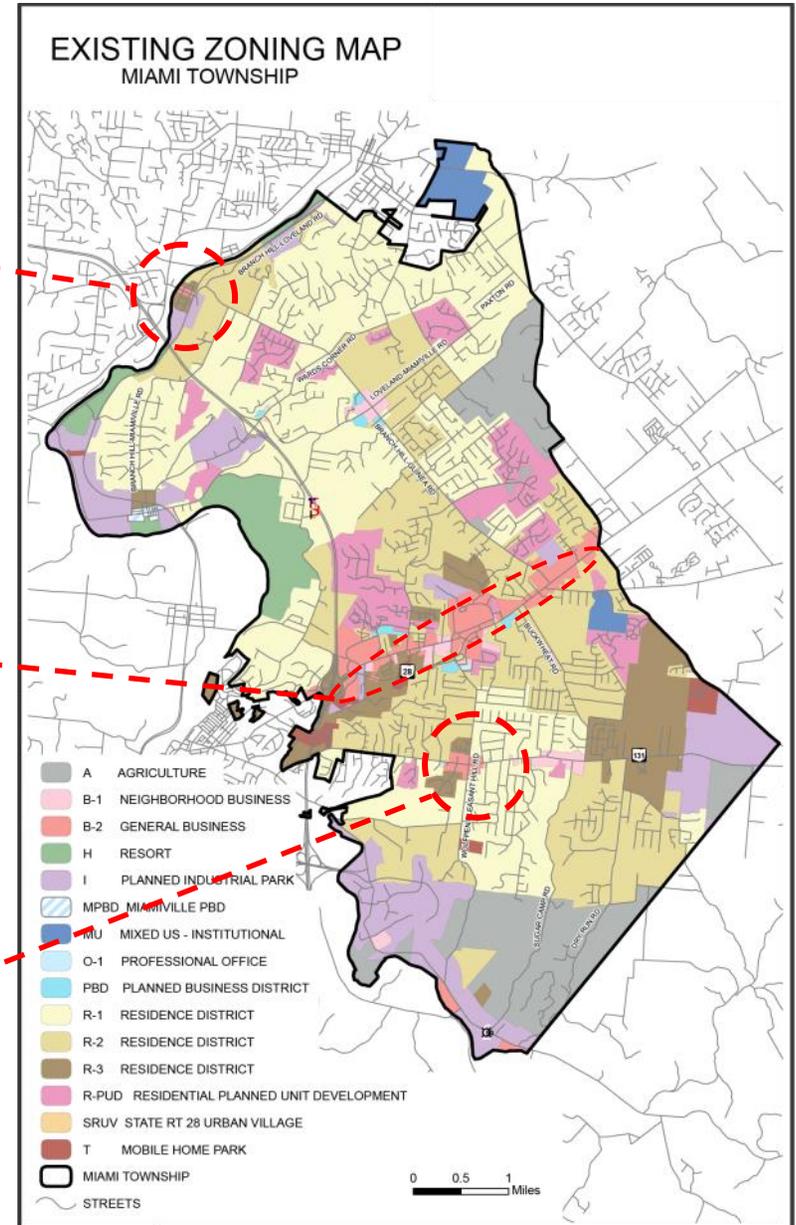
**Bridge Street District**



**State Route 28 Corridor**



**Day Heights**



### Office / Industrial

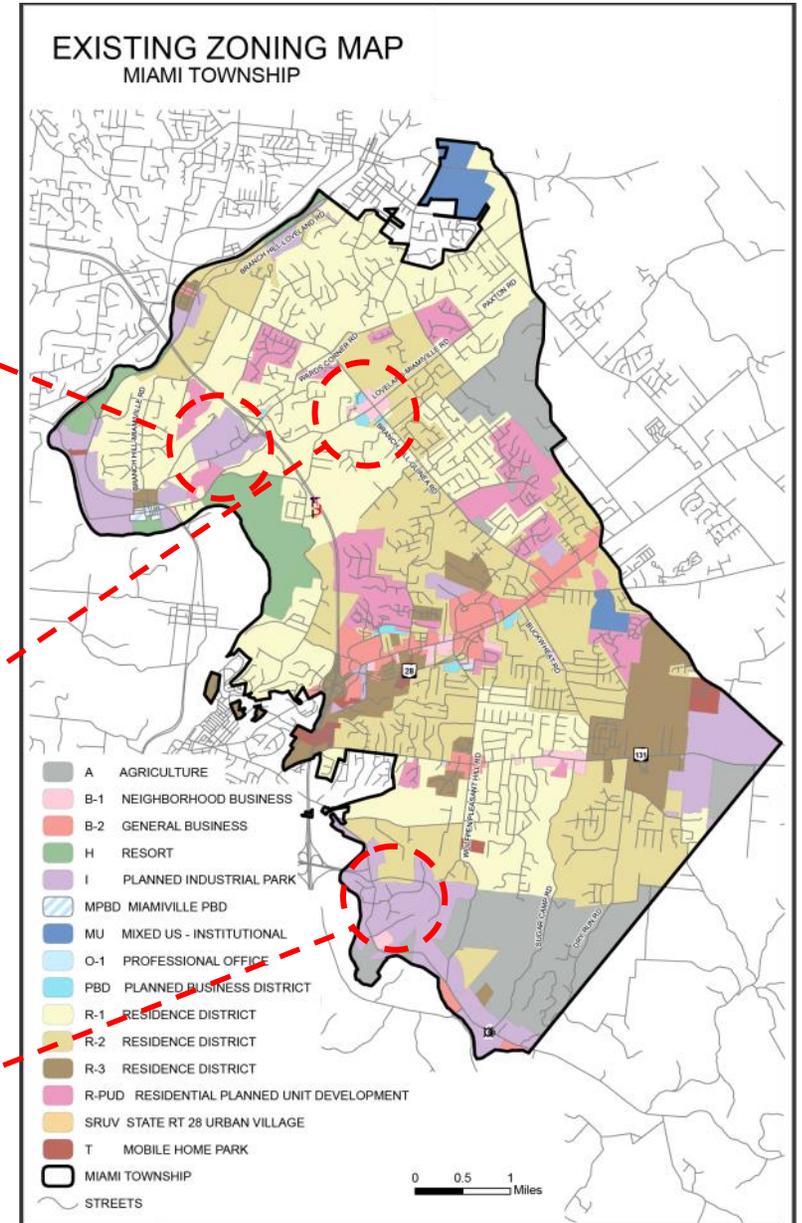
Wards Corner I-275 Interchange



Branch Hill Commercial District



Park 50 Industrial Park District



### What's Next?

**Next Steering Committee Meeting - March 2020**

**Public Open House**